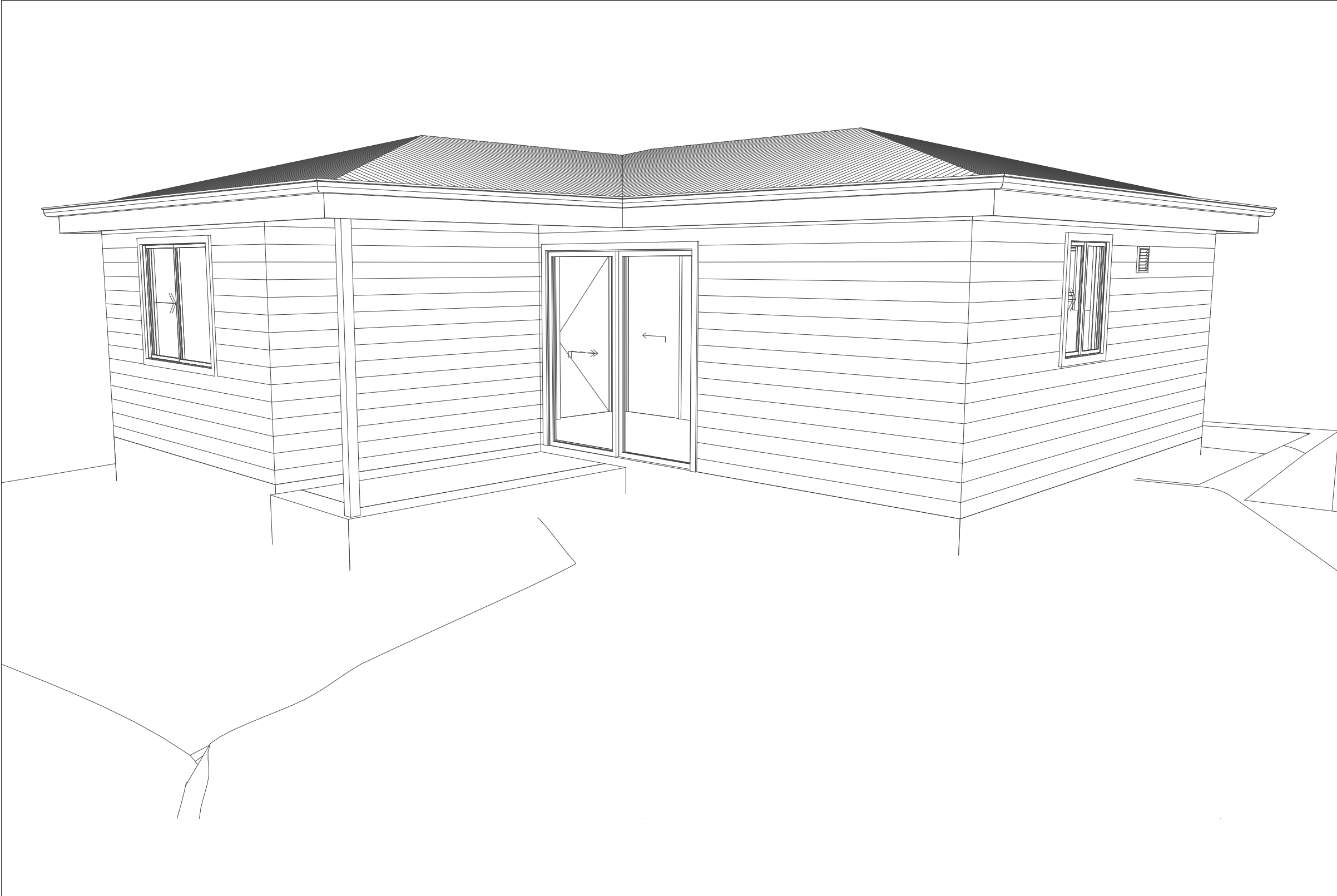



PROPOSED SECONDARY DWELLING

12 LINTON AVENUE,, REVESBY

BUILDING SCHEDULE	
SHEET	DESCRIPTION
0	COVER PAGE
1	DEMOLITION PLAN
2	SITE PLAN
3	GROUND FLOOR
4	ELEVATIONS
5	BASIX COMMITMENTS
6	SHADOW DIAGRAMS
7	SEDIMENT/ANALYSIS PLAN
8	SOFT AREA PLAN
9	NOTIFICATION PLAN



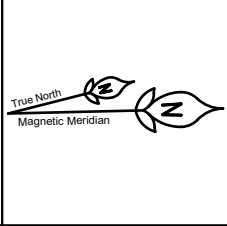
REV		DATE	DESCRIPTION	BY	<div><p>GrannyFlat solutions</p><p>90 Pacific Highway, Waitara NSW 2077 Telephone: (02) 9481 7441 Facsimile: (02) 9481 7442</p></div>	# DIMENSIONS TO BE READ IN PREFERENCE TO SCALING	PRODUCT:	CLIENT:	COVER PAGE			
B	31/01/2025 ...	CONCEPT v2	nicholas...			© Copyright - All Rights Reserved This design and documentation remains the property of GRANNYFLAT SOLUTIONS PTY LTD Any copying of this drawing shall not be undertaken without prior written permission from GRANNYFLAT SOLUTIONS PTY LTD	CUSTOM	AMANDA BOYCE	DATE: 31/01/2025	ISSUED BY: nicholas.panayi	Rev:	B
A	12/12/2024 ...	CONCEPT v1	nicholas...						SITE ADDRESS: LOT 9 (DP 16871) 12 LINTON AVENUE,, REVESBY	RATIO @ A3:	1st CHECK: WG	
							APPLICATION TYPE: DA		SHEET: 0	JOB No: 244302		

DEMOLITION NOTE:
OWNER TO PROVIDE DEMOLITION AND REMOVAL OF EXISTING STRUCTURES, INCLUDING ALL VISIBLE ASBESTOS SHEETING AND CLEARING SITE OF OLD FOOTINGS, SERVICE PIPES, ON-SITE DRIVEWAY AND CLEARANCE CERTIFICATE UNLESS SPECIFIED IN TENDER.
ALL SERVICES TO BE DISCONNECTED BY OWNER PRIOR TO ANY DEMOLITION WORKS TAKING PLACE.
ALL DEMOLITION HIGHLIGHTED IN RED.



**BEFORE
YOU
DIG**

www.byda.com.au





**GrannyFlat
solutions**

90 Pacific Highway, Waitara NSW 2077
Telephone: (02) 9481 7441 Facsimile: (02) 9481 7442

DIMENSIONS TO BE READ IN PREFERENCE TO SCALING

© Copyright - All Rights Reserved
This design and documentation remains the property of GRANNYFLAT SOLUTIONS PTY LTD
Any copying of this drawing shall not be undertaken without prior written permission from GRANNYFLAT SOLUTIONS PTY LTD

PRODUCT:
CUSTOM

APPLICATION TYPE:
DA

CLIENT:
AMANDA BOYCE

SITE ADDRESS:
**LOT 9 (DP 16871)
12 LINTON AVENUE,,
REVESBY**

DEMOLITION PLAN			
DATE: 31/01/2025	ISSUED BY: nicholas.panayi		Rev: B
RATIO @ A3: 1:200	1st CHECK: WG	2nd CHECK:	
SHEET: 1	JOB No: 244302		

SEPERATE ELECTRICAL METER

BAL RATING: SEE NOTE ON SITE PLAN

GLAZING NOTE
ALL GLAZING TO COMPLY WITH AS1288 & BASIX CERTIFICATE.

ALL WINDOWS WILL HAVE A FIXED PANEL ON THE RIGHT AND OPENING PANEL ON THE LEFT, WHEN VIEWED FROM THE OUTSIDE, UNLESS REQUESTED OTHERWISE. SLIDING DOORS WILL OPEN IN DIRECTION AS SHOWN ON PLAN.
DIVIDING MULLIONS WILL BE REQUIRED ON LARGE WINDOWS, AND LOCATIONS ARE SUBJECT TO MANUFACTURERS SPECIFICATIONS.
PROVIDE MULLIAN LOCKS TO ALL WET AREA WINDOWS.

FLYSCREEN NOTE
ALL FLYSCREEN FOR SLIDING DOORS TO
HAVE MID BARS.

DOOR SCHEDULE	
---------------	--

STUD OPENING SIZE NOTE
ADD 60mm TO HEIGHT AND 50mm TO WIDTH
OF ALL WINDOWS.

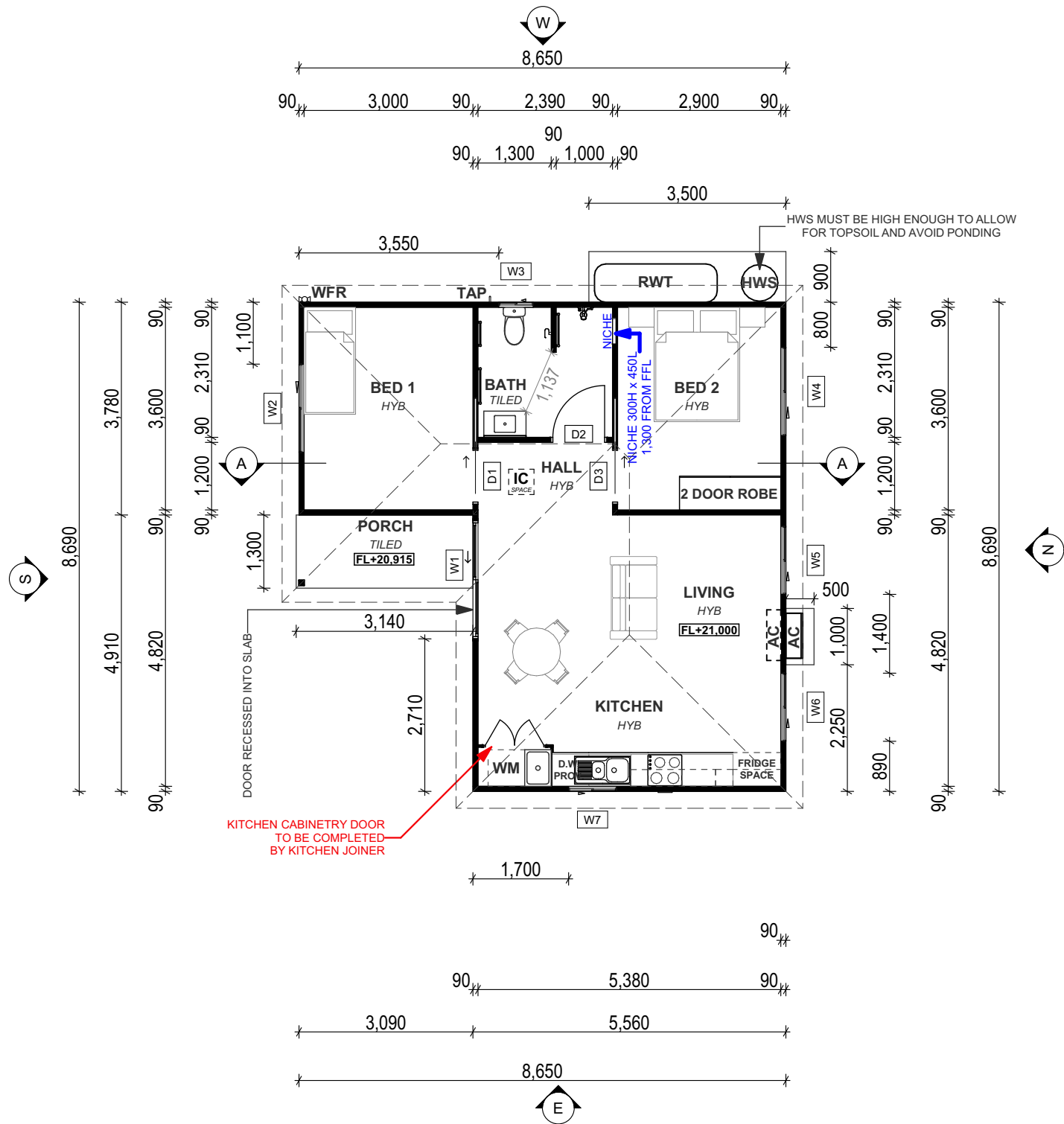
SCHEDULE

ID	HEIGHT	WIDTH	TYPE	CORE	TRANSOM & SIDE LIGHTS
----	--------	-------	------	------	-----------------------

ID	HEIGHT	WIDTH	TYPE	CORE	TRANSOM & SILLLIGHTS
D1	2,040	920	CAVITY SLIDING	HOLLOW	N/A
D2	2,040	920	HINGED	HOLLOW	N/A
D3	2,040	920	CAVITY SLIDING	HOLLOW	N/A

ID	HEIGHT	WIDTH	TYPE	FRAME	GLAZING	OFFSET	REVEAL
----	--------	-------	------	-------	---------	--------	--------

ID	HEIGHT	WIDTH	TYPE	FRAME	GLAZING	OFFSET	REVEAL
W1	2,100	2,100	SLIDING DOOR	ALUMINIUM	Glass - Clear	0	100mm
W2	1,200	1,570	SLIDING	ALUMINIUM	Glass - Clear	0	100mm
W3	600	610	SLIDING	ALUMINIUM	Glass - Obscure	+6mm	100mm
W4	1,200	1,570	SLIDING	ALUMINIUM	Glass - Clear	0	100mm
W5	600	1,210	SLIDING	ALUMINIUM	Glass - Clear	0	100mm
W6	600	1,210	SLIDING	ALUMINIUM	Glass - Clear	0	100mm
W7	1,030	850	SLIDING	ALUMINIUM	Glass - Clear	0	100mm



FLOOR FINISHES NOTES
PLEASE NOTE THAT THERE MAY BE A SMALL STEP
WHEN THERE IS A CHANGE IN FLOOR FINISHES
BETWEEN ROOMS.

DOOR & WINDOW NOTES:	GENERAL NOTES:
<p>PRE-PRIMED TIMBER POSTS AND BEAMS TO ALL EXTERNAL AREAS WHERE REQUIRED.</p> <p>2100H SQ SET OPENINGS THROUGHOUT UNLESS NOTED OTHERWISE OR SPECIFIED IN YOUR TENDER.</p> <p>2040H FLUSH PANEL INTERNAL DOORS THROUGHOUT UNLESS NOTED OTHERWISE OR SPECIFIED IN YOUR TENDER.</p> <p>LIFT OFF HINGDES TO BATHROOMS AS REQUIRED.</p> <p>2143H STANDARD HEAD HEIGHTS TO ALL WINDOWS UNLESS NOTED OTHERWISE OR SPECIFIED IN YOUR TENDER.</p>	<p>AC AND PLUMBING STACK & BULKHEAD LOCATIONS SUBJECT TO CHANGE ON SITE.</p> <p>SMOKE ALARMS TO BE IN ACCORDANCE WITH PART 3.7.5 OF THE BCA.</p> <p>LOCATION OF INSPECTION CUT-OUT MAY DIFFER TO WHAT IS SHOWN ON PLAN AS A RESULT OF THE STRUCTURAL COMPONENTS OF ROOF FRAMING ON SITE. NEW LOCATION TO THE DISCRETION OF CARPENTER.</p> <p>ALL PORCHES/PATIOS/ALFRESCO CEILINGS TO BE SHEETED WITH FC SHEETING, UNLESS OTHERWISE SPECIFIED.</p>

DOWNPIPE NOTES
ANY DOWNPIPES SHOWN ON PLAN ARE
INDICATIVE, PLEASE REFER TO STORMWATER
DRAWINGS FOR DOWNPIPE LOCATIONS.

GENERAL NOTES:
AC AND PLUMBING STACK & BULKHEAD
LOCATIONS SUBJECT TO CHANGE ON SITE.
SMOKE ALARMS TO BE IN ACCORDANCE WITH
PART 3.7.5 OF THE BCA.
LOCATION OF INSPECTION CUT-OUT MAY DIFFER
TO WHAT IS SHOWN ON PLAN AS A RESULT OF
THE STRUCTURAL COMPONENTS OF ROOF
FRAMING ON SITE. NEW LOCATION TO THE
DISCRETION OF CARPENTER.
ALL PORCHES/PATIOS/ALFRESCO CEILINGS TO BE
SHEETED WITH FC SHEETING, UNLESS
OTHERWISE SPECIFIED.

DOOR & WINDOW NOTES:
 PRE-PRIMED TIMBER POSTS AND BEAMS TO ALL
 EXTERNAL AREAS WHERE REQUIRED.
 2100H SQ SET OPENINGS THROUGHOUT UNLESS
 NOTED OTHERWISE OR SPECIFIED IN YOUR
 TENDER.
 2040H FLUSH PANEL INTERNAL DOORS
 THROUGHOUT UNLESS NOTED OTHERWISE OR
 SPECIFIED IN YOUR TENDER.
 LIFT OFF HINGDES TO BATHROOMS AS REQUIRED.
 2143H STANDARD HEAD HEIGHTS TO ALL WINDOWS
 UNLESS NOTED OTHERWISE OR SPECIFIED IN
 YOUR TENDER.

EXTERNAL DOOR WARRANTY
 THE BUILDER CANNOT PROVIDE WARRANTY ON ENTRANCE DOORS IF THE COLOUR CHOSEN HAS A LIGHT REFLECTIVE VALUE (LRV) OF 50 OR BELOW (THESE COLOURS REPRESENT THE DARKER COLOURS IN THE PAINT SPECTRUM).
 THE MANUFACTURERS DO NOT WARRANT DOORS PAINTED IN DARK COLOURS AS THEY ABSORB MORE HEAT THAN COLOURS GREATER THAN 50 LRV RATING, CAUSING THEM TO WARP OR BEND.
 FURTHERMORE, THE MANUFACTURER'S WARRANTY IS ALSO VOID IF THE EXTERNAL DOOR IS NOT COVERED BY AT LEAST 1 METER WIDE ROOF / EAVE OVERHANG / PATIO, DUE TO THE DOOR HAVING DIRECT EXPOSURE TO WEATHER ELEMENTS (WIND, RAIN, SUN ETC.) WHICH MAY CAUSE THE DOOR TO SWELL, WARP OR BEND.

GENERAL NOTES:
AC AND PLUMBING STACK & BULKHEAD
LOCATIONS SUBJECT TO CHANGE ON SITE.
SMOKE ALARMS TO BE IN ACCORDANCE WITH
PART 3.7.5 OF THE BCA.
LOCATION OF INSPECTION CUT-OUT MAY DIFFER
TO WHAT IS SHOWN ON PLAN AS A RESULT OF
THE STRUCTURAL COMPONENTS OF ROOF
FRAMING ON SITE. NEW LOCATION TO THE
DISCRETION OF CARPENTER.
ALL PORCHES/PATIOS/ALFRESCO CEILINGS TO BE
SHEETED WITH FC SHEETING, UNLESS
OTHERWISE SPECIFIED.

TRANSIRE DOORS IF THE COLOUR IS 50 OR BELOW (THESE COLOURS SPECTRUM).
PAINTED IN DARK COLOURS AS THEY CAN 50 LRV RATING, CAUSING THEM TO BE DARKER.
THIS IS ALSO VOID IF THE EXTERNAL DOOR IS NOT PROTECTED BY EAVE OVERHANG / PATIO, DUE TO EXPOSURE TO THE ELEMENTS (WIND, RAIN, SUN ETC.) WHICH CAN CAUSE THE COLOUR TO FADEN OR BEND.



GrannyFlat
solutions

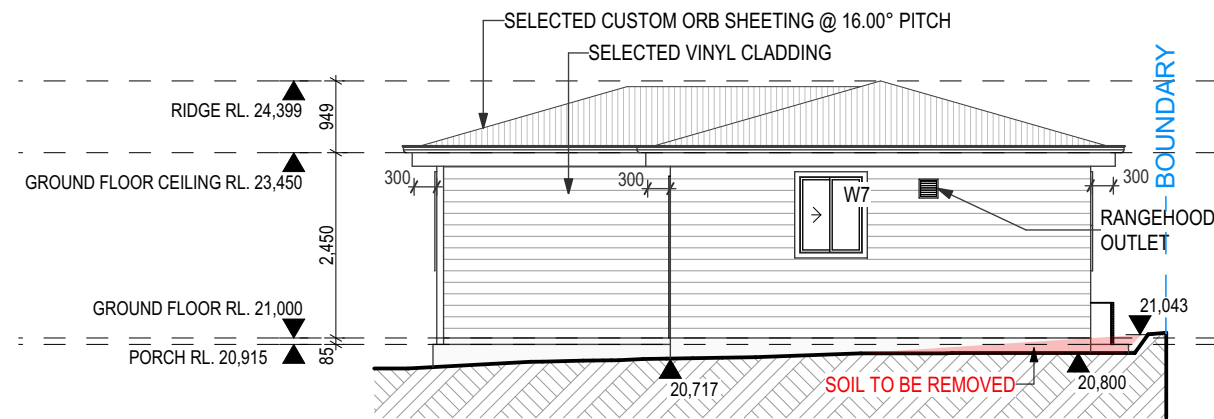
90 Pacific Highway, Waitara NSW 2077
Telephone: (02) 9481 7441 Facsimile: (02) 9481 7442

© Copyright - All Rights Reserved
This design and documentation
remains the property of
GRANNYFLAT SOLUTIONS PTY LTD
Any copying of this drawing shall not
be undertaken without prior written
permission from
GRANNYFLAT SOLUTIONS PTY LTD

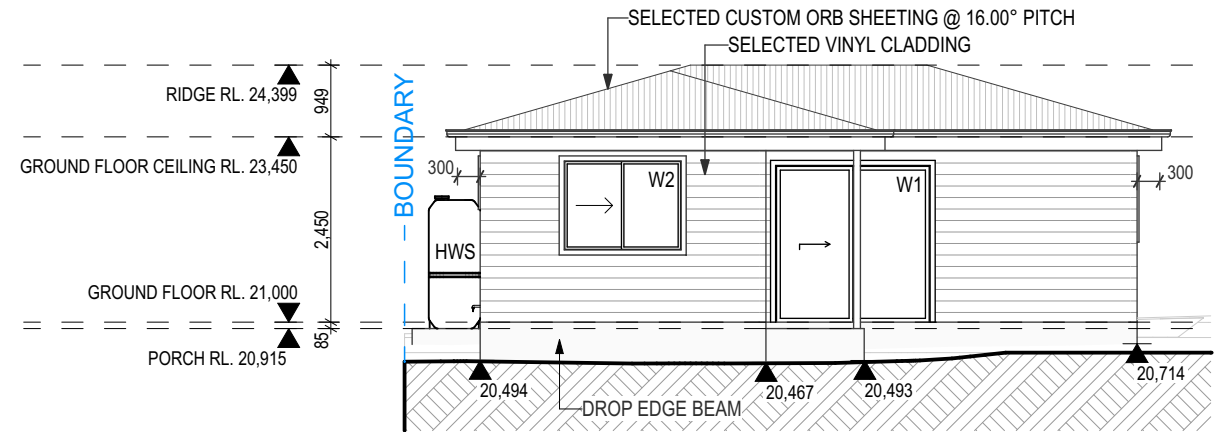
APPLICATION TYPE:
DA

SITE ADDRESS:
LOT 9 (DP 16871)
12 LINTON AVENUE,,
REVESBY

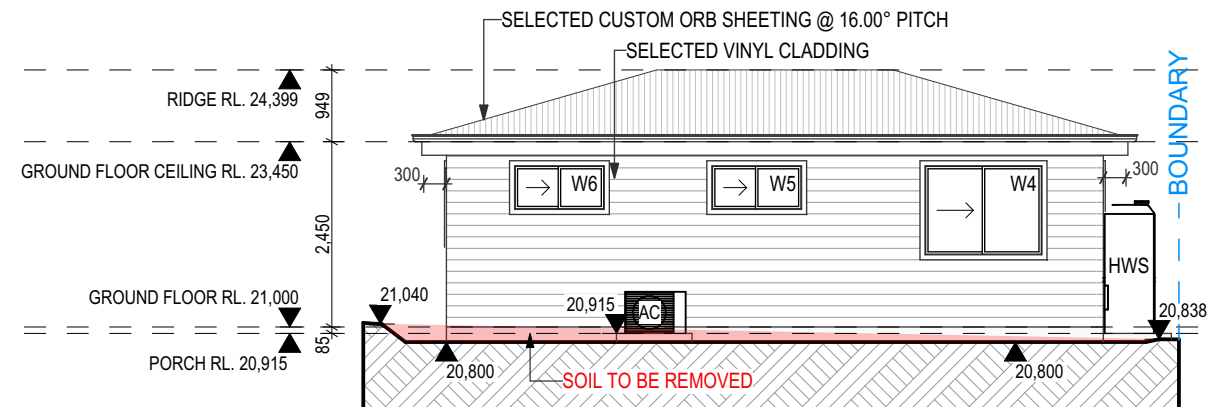
DATE: 31/01/2025	ISSUED BY: nicholas.panayi		Rev: B
RATIO @ A3: 1:100	1st CHECK: WG	2nd CHECK:	
SHEET: 3	JOB No: 244302		



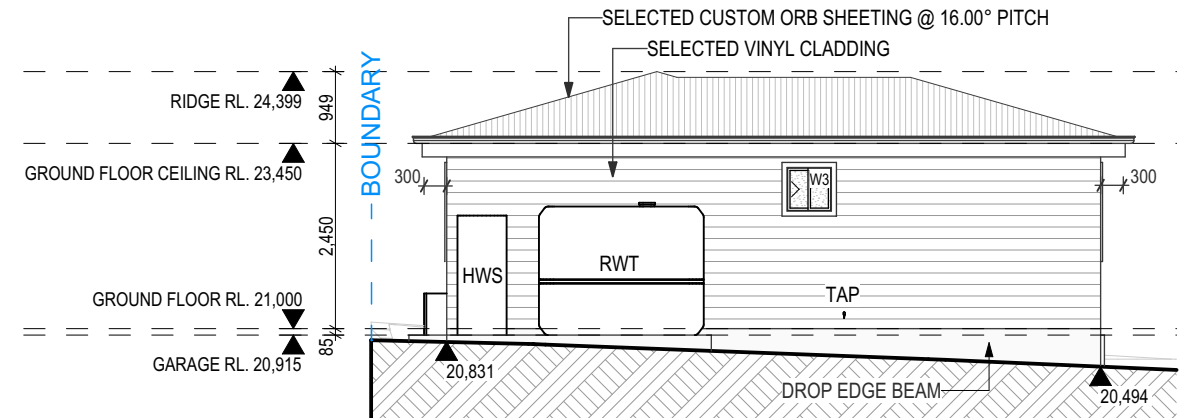
EAST ELEVATION



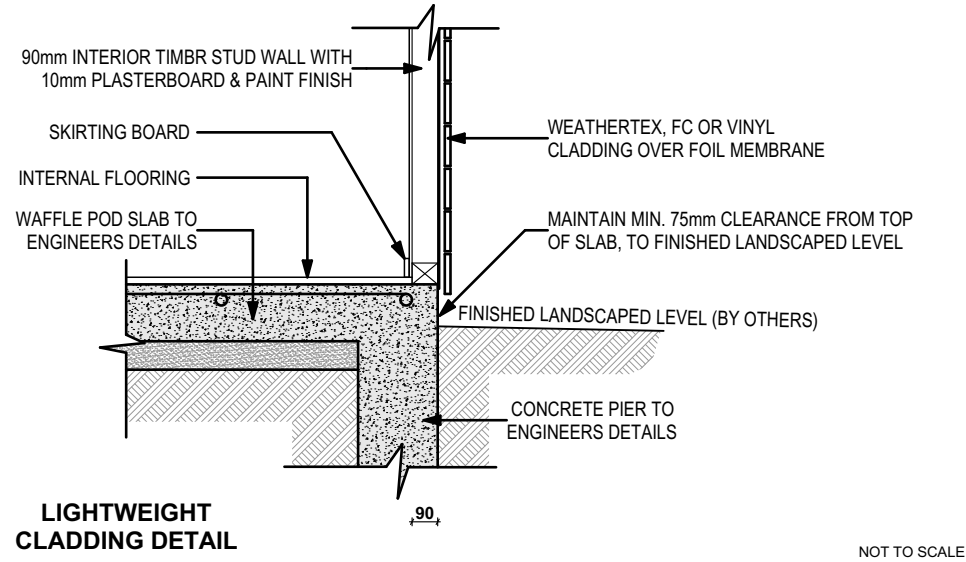
SOUTH ELEVATION



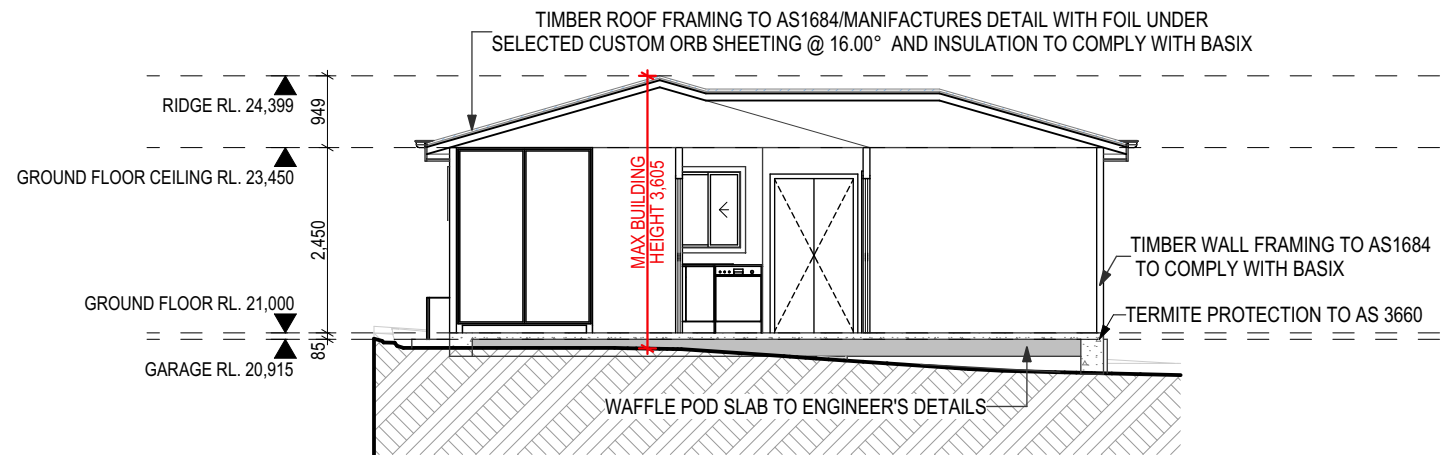
NORTH ELEVATION



WEST ELEVATION



DOWNPIPE NOTES ANY DOWNPIPES SHOWN ON PLAN ARE INDICATIVE, PLEASE REFER TO STORMWATER DRAWINGS FOR DOWNPIPE LOCATIONS.	FLOOR LEVELS NOTE THE NATURAL GROUND LEVEL SHOWN ON THE ELEVATIONS MAY VARY SLIGHTLY ON SITE, DUE TO SITE CONDITIONS AND FINAL LEVELS AFTER DEMOLITION, EXCAVATION OR SOIL REMOVAL.
EXTERNAL SLAB NOTE: ALL EXTERNAL SLAB TO BE 150mm ABOVE NATURAL GROUND LEVEL UNLESS SPECIFIED. PIERS UNDER RAINWATER TANK SLAB ONLY.	SITE BENCHING NOTES: WHERE POSSIBLE/APPROPRIATE, EXISTING SOIL TO BE REUSED AS COMPACTED FILL TO AVOID ANY DROP EDGE BEAMS. IF EXCAVATED SOIL IS NOT APPROPRIATE FOR USE, DROP EDGE BEAMS OR ADDITIONAL IMPORTED SOIL MAY BE REQUIRED. PLEASE REFER TO YOUR TENDER VARIATION FOR ANY RELEVANT ALLOWANCES.
FLOOR LEVEL NOTE THE FLOOR LEVEL SHOWN ON THE ELEVATIONS MAY VARY SLIGHTLY ON SITE, DUE TO SITE CONDITIONS AND FINAL LEVELS AFTER EXCAVATION AND REMOVAL OF SOIL. UNLESS SPECIFIED IN YOUR TENDER AND BUILDING CONTRACT, NO DIRT REMOVAL HAS BEEN ALLOWED FOR WHEN LEVELLING THE SITE FOR A CONCRETE SLAB. WHEN ACCESS IS TIGHT, A DECISION WOULD NEED TO BE MADE AS TO WHERE TO STOCKPILE ON SITE TO AVOID ACCESS INTERRUPTIONS OR A COST TO REMOVE THE SOIL CAN BE ARRANGED OR YOU. FURTHERMORE, NO EXTERNAL STEPS TO PORCHES, DROP EDGE BEAMS OR RETAINING WALLS HAVE BEEN ALLOWED FOR, UNLESS SPECIFIED IN YOUR TENDER.	LANDSCAPING NOTE UNLESS SPECIFIED IN YOUR CONTRACT, NO LANDSCAPING WORKS HAVE BEEN ALLOWED FOR AROUND THE BUILDING. AT COMPLETION OF LANDSCAPE WORKS, THE SLAB HEIGHT MUST REMAIN A MIN. OF 75mm ABOVE THE FINISHED LANDSCAPED LEVEL.
GUTTER & VALLEY NOTE WHEN BUILDING NEAR TREES, WE STRONGLY RECOMMEND YOU INSTALL GUTTER-GUARD OR A SIMILAR PRODUCT IN ALL GUTTERS AND VALLEYS, TO PREVENT LEAF BUILD-UP AND WATER OVERFLOW UNDER THE ROOF TILES OR SHEETING.	



SECTION A-A

ROOF MATERIAL				DROP EDGE BEAM APPROX.	
MATERIAL	AREA	VALLEYS	PITCH	MATERIAL	SQM
SELECTED CUSTOM ORB SHEETING	77.63	4,062	16.00°	CONCRETE	6.09

GrannyFlat solutions 90 Pacific Highway, Waitara NSW 2077 Telephone: (02) 9481 7441 Facsimile: (02) 9481 7442	# DIMENSIONS TO BE READ IN PREFERENCE TO SCALING © Copyright - All Rights Reserved This design and documentation remains the property of GRANNYFLAT SOLUTIONS PTY LTD Any copying of this drawing shall not be undertaken without prior written permission from GRANNYFLAT SOLUTIONS PTY LTD	PRODUCT: CUSTOM APPLICATION TYPE: DA	CLIENT: AMANDA BOYCE SITE ADDRESS: LOT 9 (DP 16871) 12 LINTON AVENUE,, REVESBY	ELEVATIONS		
				DATE: 31/01/2025 RATIO @ A3: 1:100 SHEET: 4	ISSUED BY: nicholas.panayi 1st CHECK: WG JOB No: 244302	Rev: B

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Friday, 24 January 2025
To be valid, this certificate must be submitted with a development application or lodged with a complying development certificate application within 3 months of the date of issue.



Project summary		
Project name	12 Linton Avenue, Revesby	
Street address	12 LINTON Avenue REVESBY 2212	
Local Government Area	Canterbury-Bankstown Council	
Plan type and plan number	Deposited Plan DP16871	
Lot no.	9	
Section no.	-	
Project type	dwelling house (detached) - secondary dwelling	
No. of bedrooms	2	
Project score		
Water	✔ 41	Target 40
Thermal Performance	✔ Pass	Target Pass
Energy	✔ 73	Target 68
Materials	✔ 30	Target n/a

Certificate Prepared by	
Name / Company Name:	ELIAS ABOUTANNOUS
ABN (if applicable):	62183549935

Description of project

Project address		Assessor details and thermal loads	
Project name	12 Linton Avenue, Revesby	Assessor number	10205
Street address	12 LINTON Avenue REVESBY 2212	Certificate number	HR-J43BBT-01
Local Government Area	Canterbury-Bankstown Council	Climate zone	56
Plan type and plan number	Deposited Plan DP16871	Area adjusted cooling load (MJ/ m²/year)	9
Lot no.	9	Area adjusted heating load (MJ/ m²/year)	13
Section no.	-		
Project type		Project score	
Project type	dwelling house (detached) - secondary dwelling	Water	✓ 41 Target 40
No. of bedrooms	2	Thermal Performance	✓ Pass Target Pass
		Energy	✓ 73 Target 68
		Materials	✓ 30 Target n/a
Site details			
Site area (m²)	563		
Roof area (m²)	77		
Conditioned floor area (m²)	55.0		
Unconditioned floor area (m²)	5.0		
Total area of garden and lawn (m²)	30		
Roof area of the existing dwelling (m²)	198		
Number of bedrooms in the existing dwelling	4		

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 5 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 4 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development.		✓	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 2000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 60 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to: <ul style="list-style-type: none">at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓	✓

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Simulation Method			
Assessor details and thermal loads			
The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.			
The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate and the "Construction" and "Glazing" tables below.			
The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.	✓	✓	✓
The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✓	✓
The applicant must show on the plans accompanying the development application for the proposed development, the locations of ceiling fans set out in the Assessor Certificate. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate.	✓	✓	✓


Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Construction			
The applicant must construct the floors, walls, roofs, ceilings and glazing of the dwelling in accordance with the specifications listed in the tables below.	✓	✓	✓
The applicant must show through receipts that the materials purchased for construction are consistent with the specifications listed in the tables below.			✓
Construction	Area - m²	Insulation	
floor - concrete slab on ground, waffle pod slab.	60	none	
external wall: framed (solid or reconstituted timber weatherboard); frame: timber - H2 treated softwood.	all external walls	fibreglass batts or roll	
internal wall: plasterboard; frame: timber - H2 treated softwood.	36	none	
ceiling and roof - flat ceiling / pitched roof, framed - metal roof, timber - H2 treated softwood.	77	ceiling: fibreglass batts or roll; roof: foil backed blanket.	

Thermal Performance and Materials commitments		Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Glazing				
The applicant must install windows, glazed doors and skylights as described in the table below, in accordance with the specifications listed in the table.		✓	✓	✓
Frames	Maximum area - m2			
aluminium	13.7			
timber	0			
uPVC	0			
steel	0			
composite	0			
Glazing	Maximum area - m2			
single	13.7			
double	0			
triple	0			


Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: electric heat pump with a performance of 31 to 35 STCs or better.	✓	✓	✓
Cooling system			
The living areas must not incorporate any cooling system, or any ducting which is designed to accommodate a cooling system.		✓	✓
The bedrooms must not incorporate any cooling system, or any ducting which is designed to accommodate a cooling system.		✓	✓
Heating system			
The living areas must not incorporate any heating system, or any ducting which is designed to accommodate a heating system.		✓	✓
The bedrooms must not incorporate any heating system, or any ducting which is designed to accommodate a heating system.		✓	✓
Ventilation			
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: no mechanical ventilation (ie. natural); Operation control: n/a		✓	✓
Kitchen: no mechanical ventilation (ie. natural); Operation control: n/a		✓	✓
Laundry: natural ventilation only, or no laundry; Operation control: n/a		✓	✓
Artificial lighting			
The applicant must ensure that a minimum of 80% of light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✓	✓	✓

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
The applicant must install a window and/or skylight in 1 bathroom(s)/toilet(s) in the development for natural lighting.	✓	✓	✓
Other			
The applicant must install a fixed outdoor clothes drying line as part of the development.		✓	
The applicant must install a fixed indoor or sheltered clothes drying line as part of the development.		✓	

Legend			
In these commitments, "applicant" means the person carrying out the development.			
Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).			
Commitments identified with a ✓ in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.			
Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim or final) for the development may be issued.			

**Certificate No. #HR-J43BBT-01**
Scan QR code or follow website link for rating details.

Assessor name Elias Aboutannous
Accreditation No. HERA 10205
Property Address 12 Linton Avenue, Revesby, NSW, 2212
<http://www.hero-software.com.au/pdf/HR-J43BBT-01>



GrannyFlat
solutions

90 Pacific Highway, Waitara NSW 2077
Telephone: (02) 9481 7441 Facsimile: (02) 9481 7442

DIMENSIONS TO BE READ IN PREFERENCE TO SCALING

© Copyright - All Rights Reserved
This design and documentation remains the property of GRANNYFLAT SOLUTIONS PTY LTD
Any copying of this drawing shall not be undertaken without prior written permission from GRANNYFLAT SOLUTIONS PTY LTD

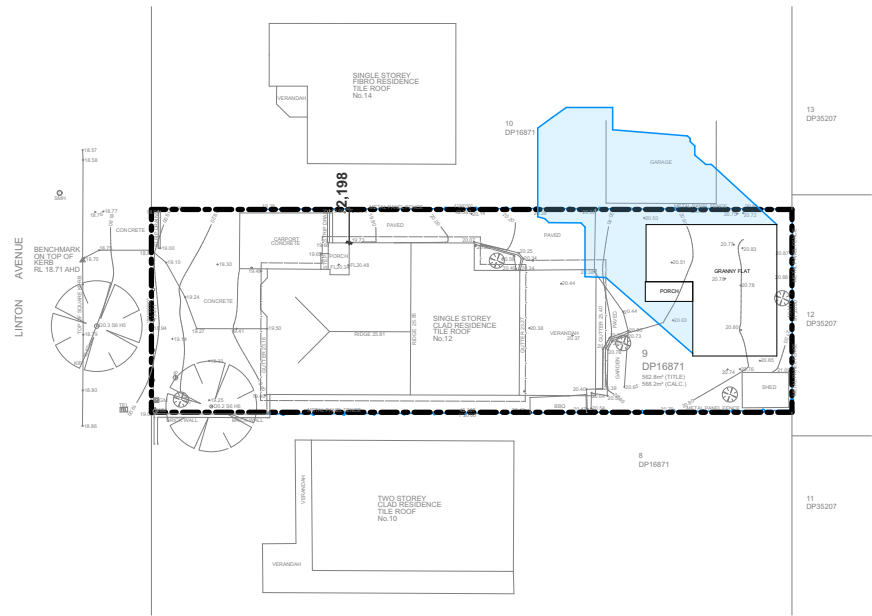
PRODUCT:
CUSTOM

APPLICATION TYPE:
DA

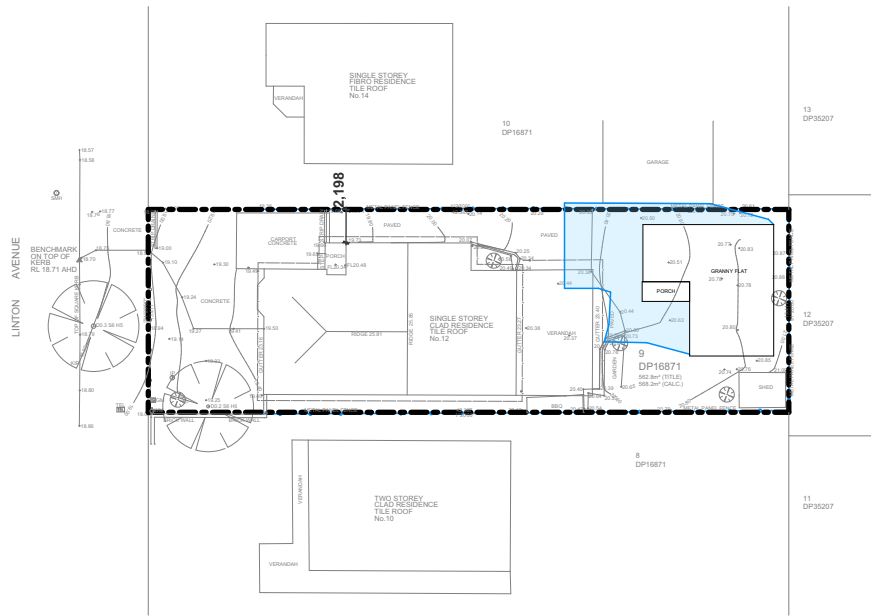
CLIENT:
AMANDA BOYCE

SITE ADDRESS:
**LOT 9 (DP 16871)
12 LINTON AVENUE,,
REVESBY**

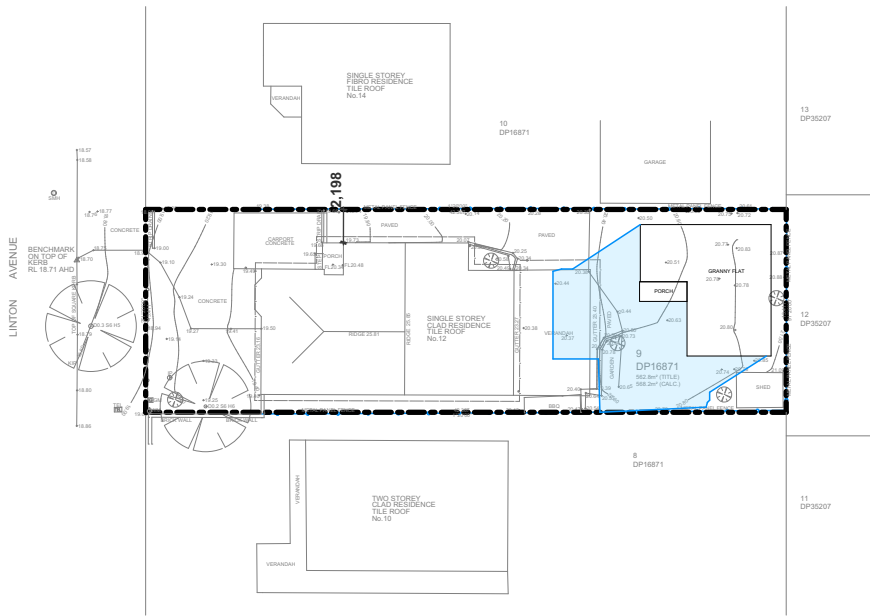
BASIX COMMITMENTS			
DATE: 31/01/2025	ISSUED BY: nicholas.panayi		Rev: B
RATING: 1:1.33	1st CHECK: WG	2nd CHECK:	
SHEET: 5	JOB No: 244302		



9am SHADOW DIAGRAM



12pm SHADOW DIAGRAM



3pm SHADOW DIAGRAM



BEFORE
you
DIG

www.byda.com.au

GrannyFlat
solutions

90 Pacific Highway, Waitara NSW 2077
Telephone: (02) 9481 7441 Facsimile: (02) 9481 7442

DIMENSIONS TO BE READ IN PREFERENCE TO SCALING

© Copyright - All Rights Reserved
This design and documentation remains the property of GRANNYFLAT SOLUTIONS PTY LTD
Any copying of this drawing shall not be undertaken without prior written permission from GRANNYFLAT SOLUTIONS PTY LTD

PRODUCT:
CUSTOM

APPLICATION TYPE:
DA

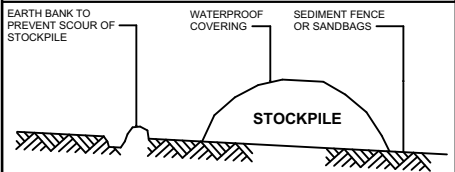
CLIENT:
AMANDA BOYCE

SITE ADDRESS:
**LOT 9 (DP 16871)
12 LINTON AVENUE,,
REVESBY**

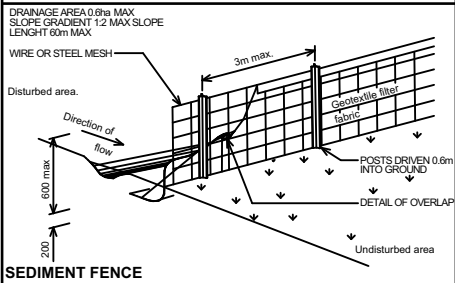
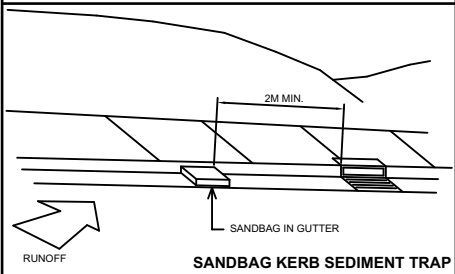
SHADOW DIAGRAMS

DATE: 31/01/2025	ISSUED BY: nicholas.panayi	Rev: B
RATIO @ A3: 1:500	1st CHECK: WG	2nd CHECK:
SHEET: 6	JOB No: 244302	

EROSION AND SEDIMENT CONTROL NOTE:
SEDIMENT CONTROL & TEMPORARY FENCING TO BE INSTALLED PRIOR TO COMMENCEMENT OF WORKS AND TO REMAIN TILL COMPLETION OF WORKS. BUILDER SHALL PROVIDE SEDIMENT FENCING MATERIAL DURING CONSTRUCTION AS INDICATED ON THE PLAN. TIE SEDIMENT FENCING MATERIAL TO CYCLONE WIRE SECURITY FENCE. SEDIMENT CONTROL FABRIC SHALL BE AN APPROVED MATERIAL (EG HUMES PROPOEX SILT STOP) STANDING 300mm MIN. ABOVE GROUND AND EXTENDING 200mm BELOW GROUND.
EXISTING DRAINS LOCATED WITHIN THE SITE SHALL ALSO BE ISOLATED BY SEDIMENT FENCING MATERIAL.
NO PARKING OR STOCKPILING OF MATERIALS IS PERMITTED ON THE LOWER SIDE OF THE SEDIMENT FENCE.
GRASS VERGES SHALL BE MAINTAINED AS MUCH AS PRACTICAL TO PROVIDE A BUFFER ZONE TO THE CONSTRUCTION SITE.
ROOF DRAINAGE IS TO BE CONNECTED TO THE STORMWATER SYSTEM AS SOON AS PRACTICAL. BUILDER SHALL ENSURE ALL CONSTRUCTION TRAFFIC ENTERING AND LEAVING THE SITE DO SO IN A FORWARD DIRECTION.
ALL TEMPORARY STOCKPILES SHALL BE AT LEAST 2000mm CLEAR OF AREAS OF CONCENTRATED WATER FLOW & THE DRIVEWAY.
FOOTPATH NOT TO BE USED.
PROVIDE MESH AND GRAVEL PROTECTION TO GUTTER INLETS NEAR THE ALLOTMENT.



BUILDING MATERIAL STOCKPILES



LINE LEGEND

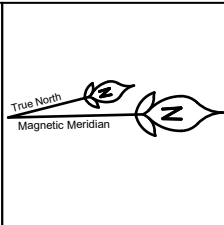
—○— SEDIMENT FENCE

← COLD SOUTHERLY WINDS

← TEMPERATE NORTH-EAST BREEZE

BEFORE YOU DIG

www.byda.com.au



GrannyFlat solutions

90 Pacific Highway, Waitara NSW 2077
Telephone: (02) 9481 7441 Facsimile: (02) 9481 7442

DIMENSIONS TO BE READ IN PREFERENCE TO SCALING

© Copyright - All Rights Reserved
This design and documentation remains the property of GRANNYFLAT SOLUTIONS PTY LTD
Any copying of this drawing shall not be undertaken without prior written permission from GRANNYFLAT SOLUTIONS PTY LTD

PRODUCT:
CUSTOM

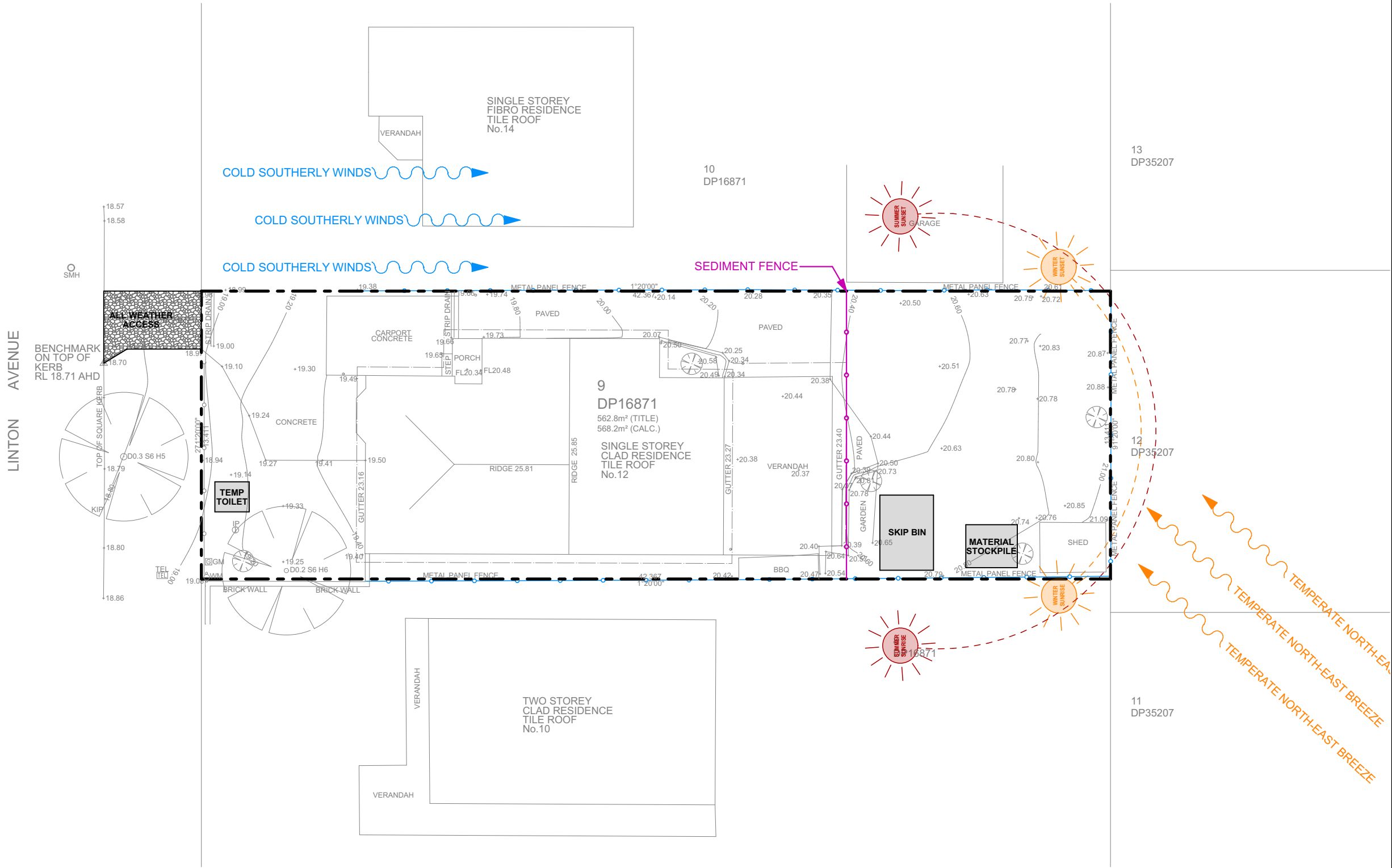
APPLICATION TYPE:
DA

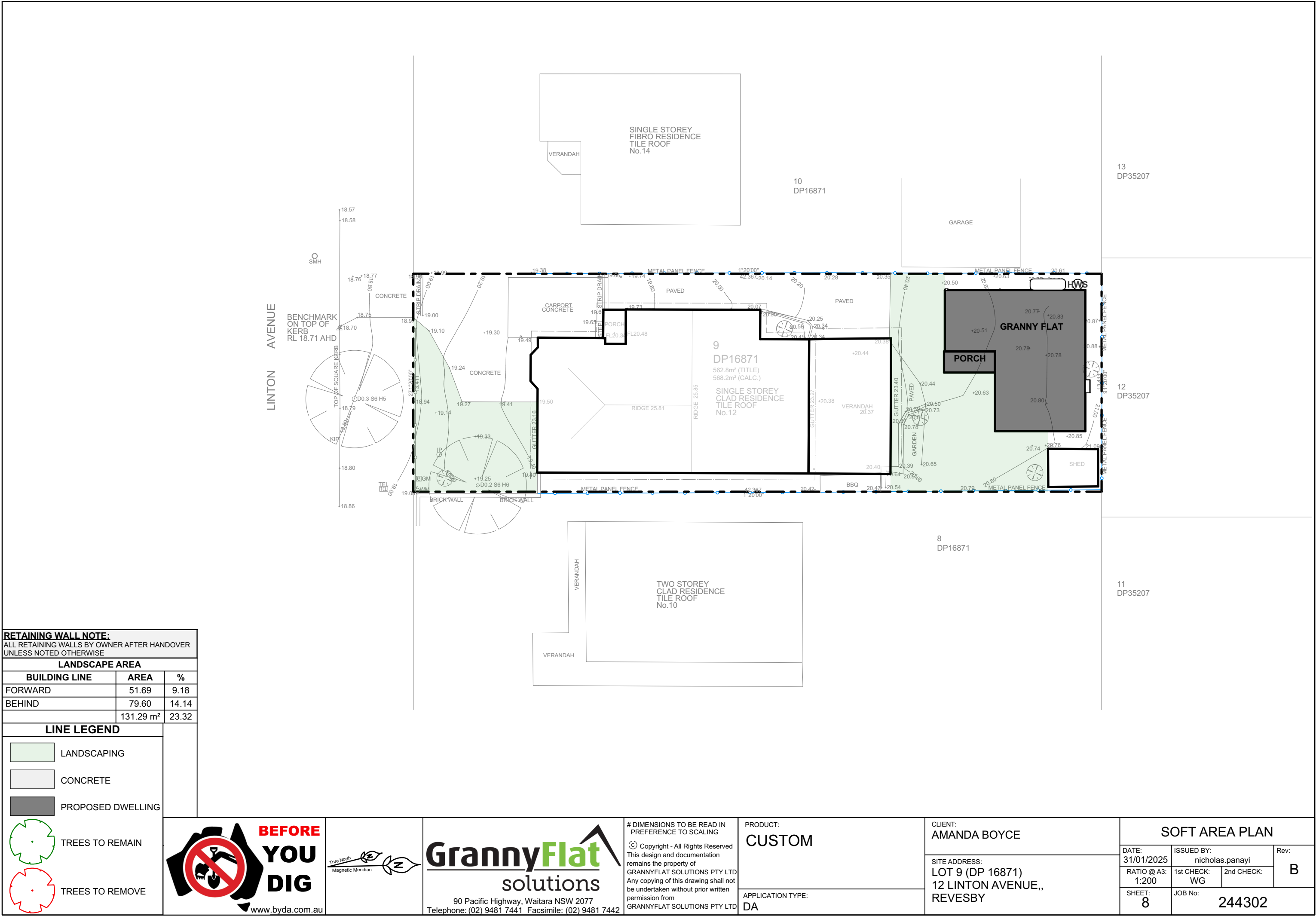
CLIENT:
AMANDA BOYCE

SITE ADDRESS:
**LOT 9 (DP 16871)
12 LINTON AVENUE,,
REVESBY**

SEDIMENT/ANALYSIS PLAN






DATE: 31/01/2025	ISSUED BY: nicholas.panayi	Rev: B
RATIO @ A3:	1st CHECK: WG	2nd CHECK:
SHEET: 7	JOB No: 244302	

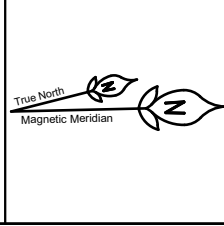




RETAINING WALL NOTE:
ALL RETAINING WALLS BY OWNER AFTER HANDOVER
UNLESS NOTED OTHERWISE

LANDSCAPE AREA		
BUILDING LINE	AREA	%
FORWARD	51.69	9.18
BEHIND	79.60	14.14
	131.29 m²	23.32

LINE LEGEND	
	LANDSCAPING
	CONCRETE
	PROPOSED DWELLING
	TREES TO REMAIN
	TREES TO REMOVE



GrannyFlat
solutions

90 Pacific Highway, Waitara NSW 2077
Telephone: (02) 9481 7441 Facsimile: (02) 9481 7442

DIMENSIONS TO BE READ IN
PREFERENCE TO SCALING

© Copyright - All Rights Reserved
This design and documentation
remains the property of
GRANNYFLAT SOLUTIONS PTY LTD
Any copying of this drawing shall not
be undertaken without prior written
permission from
GRANNYFLAT SOLUTIONS PTY LTD

PRODUCT:
CUSTOM

APPLICATION TYPE:
DA

CLIENT:
AMANDA BOYCE

SITE ADDRESS:
**LOT 9 (DP 16871)
12 LINTON AVENUE,,
REVESBY**

SOFT AREA PLAN			
DATE: 31/01/2025	ISSUED BY: nicholas.panayi		Rev: B
RATIO @ A3: 1:200	1st CHECK: WG	2nd CHECK:	
SHEET: 8	JOB No: 244302		